

Date: 07.19.2023

Arcadia Camelback Special Planning District:

The purpose of this letter is to inform you that we have recently filed a Zoning Adjustment application **ZA-244-23** for a site located at **5023 E. Red Rock Drive**

Our request is for a variance to reduce the required front yard (north) setback to 10 feet. 40 feet required. (Zoning Ordinance Section 609.B.Table)

The hearing is as follows:

Zoning Adjustment Hearing:

Meeting will be held virtually.

To participate, see the instructions on the agenda available on the Public Meeting Notices website:

<https://www.phoenix.gov/cityclerk/publicmeetings/notices>

On 08/03/2023 @ 1:30 P.M.

You may attend the hearing to learn about the case and make your opinions known. Hearing information may also be found on signs posted on the site. You may also make your feelings known on this case by writing to the Planning and Development Department at 200 West Washington, 2nd Floor, Phoenix, Arizona, 85003 and referencing the case number. You can also send an email to zoning.adjustment@phoenix.gov. Please reference the above case number and hearing date in your email. Your letter/email will be made part of the case file and shared with the Hearing Officer.

I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. You may reach me at 480-338-1632 or jon@poetzl.com or you may reach the City of Phoenix's Planning and Development Department at 602-262-7131, Option 6 or zoning.adjustment@phoenix.gov. Please reference the above casenumber and hearing date in your email to expedite a response.

Sincerely,



Jon Poetzl, AIA

Date: 01.19.2023

Arabic Community Special Planning District

The purpose of this letter is to inform you that we have recently filed a zoning adjustment application SA-22-003 for a site located at 300 West Washington

Our request is for a variance to reduce the required front yard setback to 10 feet. A full report (Zoning Ordinance Section 007.8.1.01(a)) is attached to this letter.

The hearing is as follows:

Monday, January 23, 2023

10:00 AM - 11:30 AM

The hearing will be held virtually. A link to the hearing is available on the Arabic Community Special Planning District website.

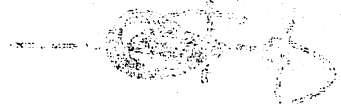
If you have any questions, please contact the Planning Department at 300 West Washington, Suite 100, Denver, CO 80202.

01.19.2023 11:30 AM

You may attend the hearing to learn about the case and make your opinions known. Hearing information may also be found on signs posted on the site. You may also make your comments known on this case by visiting the Planning and Development Department at 300 West Washington, Suite 100, Denver, CO 80202 and referencing the case number. You can also email or call the Planning Department. Please reference the above case number and hearing date in your email. Your letter/email will be included in the case file and shared with the Planning Director.

I would be happy to answer any questions or hear any comments that you may have regarding this proposal. You may reach me at 303-333-1633 or by email at [redacted] or you may reach the City of Phoenix's Planning and Development Department at 303-333-1311. Option 6 of our zoning adjustment/district map. Please reference the above case number and hearing date in your email to expedite a response.

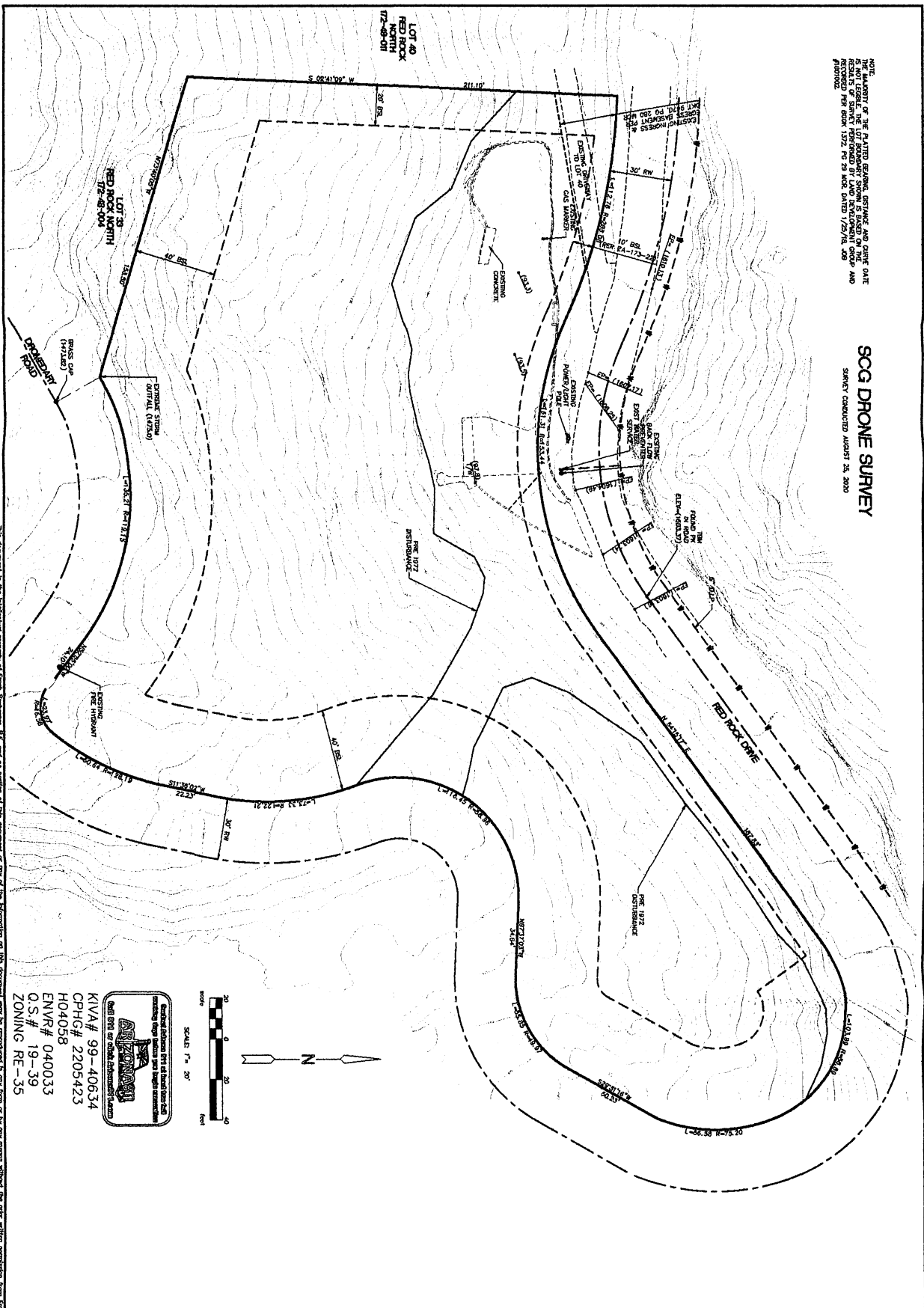
Sincerely,



AIA, AIA

THE MAJORITY OF THE PLATTED SECTIONS, DISTANCE AND BEARING DATE IS NOT LEGAL. THE LOT BOUNDARIES SHOWN ARE BASED ON PROSP AND RECORDED PER BOOK 1372 PG 29 MARK DATED 1/22/18 JOB #180102

SCG DRONE SURVEY
SURVEY CONDUCTED AUGUST 26, 2020



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20
0
20
40
feet
SCALE 1" = 20'

 KIVA# 99-40634
 CPHG# 2205423
 H04058
 ENR# 040033
 O.S.# 19-39
 ZONING RE-35

SHEET 2 OF 10 DATE AUG 2020		GRADING PLAN LOT 39 RED ROCK NORTH 5023 EAST RED ROCK DRIVE PHOENIX, ARIZONA	REVISIONS 6/1/22 PS CDP COMMENTS	 877 BART VISTA BONITA DRIVE 613 145 SCOTTSDALE, ARIZONA 85258 • (602) 725-0372
			10/10/22 PS ARCH REVISIONS 1/5/23 PS REV DIMENSIONS 2/1/23 PS CDP COMMENTS 4/9/23 PS CDP COMMENTS	

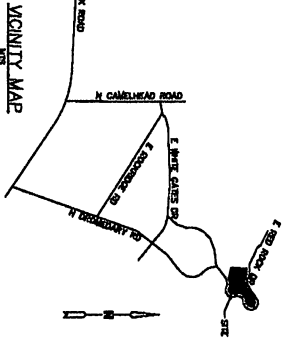
LEGEND

Table with 2 columns: Symbol/Line Style and Description. Includes items like Proposed Elevation, Existing Elevation, Proposed Floor Elevation, etc.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Table with 4 columns: Community Number, Flood Zone, Date of Flood Zone, and Flood Zone Description. Shows zone 040051 and date 10/16/73.

GENERAL INFORMATION: THE LATEST FLOOD ELEVATIONS AND/OR FLOOD PROFILES... FLOOD INSURANCE RATE MAP (FIRM) INFORMATION... FLOOD ZONE 040051... DATE 10/16/73...



239 1/2 WEST 140TH AVENUE, SUITE 100, DENVER, CO 80233

OWNER: MORTENSON GROUP, INC. 6907 EAST WYOMING AVENUE, DENVER, CO 80231. ARCHITECT: LANGSCHE ARCHITECT, 1000 WEST 14TH AVENUE, SUITE 100, DENVER, CO 80202.

Table with 2 columns: Material and Quantity. Lists materials like Concrete, Brick, and Mortar with their respective quantities.

HILLSIDE APPROVAL

RETAINING WALLS TO ADHERE TO COR PLANNING AND DEVELOPMENT DEPARTMENT'S 2005 SPECIFICATIONS AND JANUARY 20, 2003.

Table with 2 columns: Retaining Wall Type and Height. Lists wall types like Gravity Wall, Cantilever Wall, etc., and their heights.

RETAINING WALLS TO ADHERE TO COR PLANNING AND DEVELOPMENT DEPARTMENT'S 2005 SPECIFICATIONS AND JANUARY 20, 2003. THIS DOCUMENT IS THE SOLE PROPERTY OF FRANK BODENBERGER, P.E.

MORSTAD RESIDENCE GRADING AND DRAINAGE PLAN WITH HILLSIDE FOR NEW RESIDENCE @ 5023 EAST RED ROCK DRIVE LOT 39 RED ROCK NORTH, LOCATED IN THE SOUTHBASE 1/4 OF SECTION 17, 72N, R1E OF THE GILA & SALT RIVER BASIN & MERIDIAN AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE RECORD DRAWING, CALCULATIONS AND SPECIFICATIONS WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. REGISTERED CIVIL ENGINEER/JANUARY 2007 DATE

GRADING AND DRAINAGE NOTES

- 1. A GRADING PLAN IS REQUIRED UNDER CHAPTER 22A OF THE PHOENIX CITY CODE... 2. EXISTING CONTOURS ARE TO BE MAINTAINED... 3. EXISTING CONTOURS ARE TO BE MAINTAINED... 4. EXISTING CONTOURS ARE TO BE MAINTAINED...



KIVA# 99-40634 CHG# 2205423 H04058 ENV# 040033 O.S.# 19-39 ZONING RE-35

Sheet information: SHEET 1 OF 10, DATE AUG 2020, and project title: GRADING PLAN LOT 39 RED ROCK NORTH 5023 EAST RED ROCK DRIVE PHOENIX, ARIZONA.



Project title: GRADING PLAN LOT 39 RED ROCK NORTH 5023 EAST RED ROCK DRIVE PHOENIX, ARIZONA.

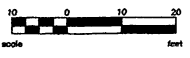
Revision table with columns: No., Date, Description. Lists revisions for the grading plan.

Summit Civil Group logo and contact information: 1000 WEST 14TH AVENUE, SUITE 100, DENVER, CO 80202. (303) 733-7372.

- CONSTRUCTION NOTES**
- Construct wall openings 10' o.c. (4' x 4') (inverts to be level with adjacent grade)
 - Grade to drain
 - Waterproof walls with emulsified asphaltic coating to a minimum of one foot above outside grade and place 1/4" butter board from foundation to backfill grade level to protect waterproofing while backfilling.
 - Install 12" HDPE
 - Install 18" diameter catch basin
 - Construct extended stemwall w/ top of footing 2 min. to 3' below lowest adjacent grade.
 - Install 12"x12" catch basin w/ 6" PVC w/ 4ft filter
 - Install 12" side deck drain
 - Install 8" man diameter native stone rip-rap 24" min thickness with filter fabric
 - Install 2" deck drain w/ 4" PVC outlet
 - Install new driveway in right of way 533 sq. ft. 6" thickness MAG A concrete
 - Install 6" thick MAG A concrete power driveway @ 83,000 PSI CPM minimum
 - Install 4" thick MAG A concrete parking/court yard strips to match driveway color, texture
 - Install 12"x12" catch basin w/ 6" HDPE w/ silt filter
 - septic system to be constructed per CO permit no.

NOTE:
POOL SHALL BE BUILT PRIOR TO OR IN CONJUNCTION WITH THE HOUSE & NO ACCESS IS PROVIDED FOR FUTURE CONSTRUCTION.

NOTE:
THE DECOMPOSED GRANITE MATERIALS WILL BE OF MATCHING SIZE AND COLOR TO THE EXISTING SURROUNDING AREAS. SEE LANDSCAPE PLANS FOR APPLICABLE AREAS.



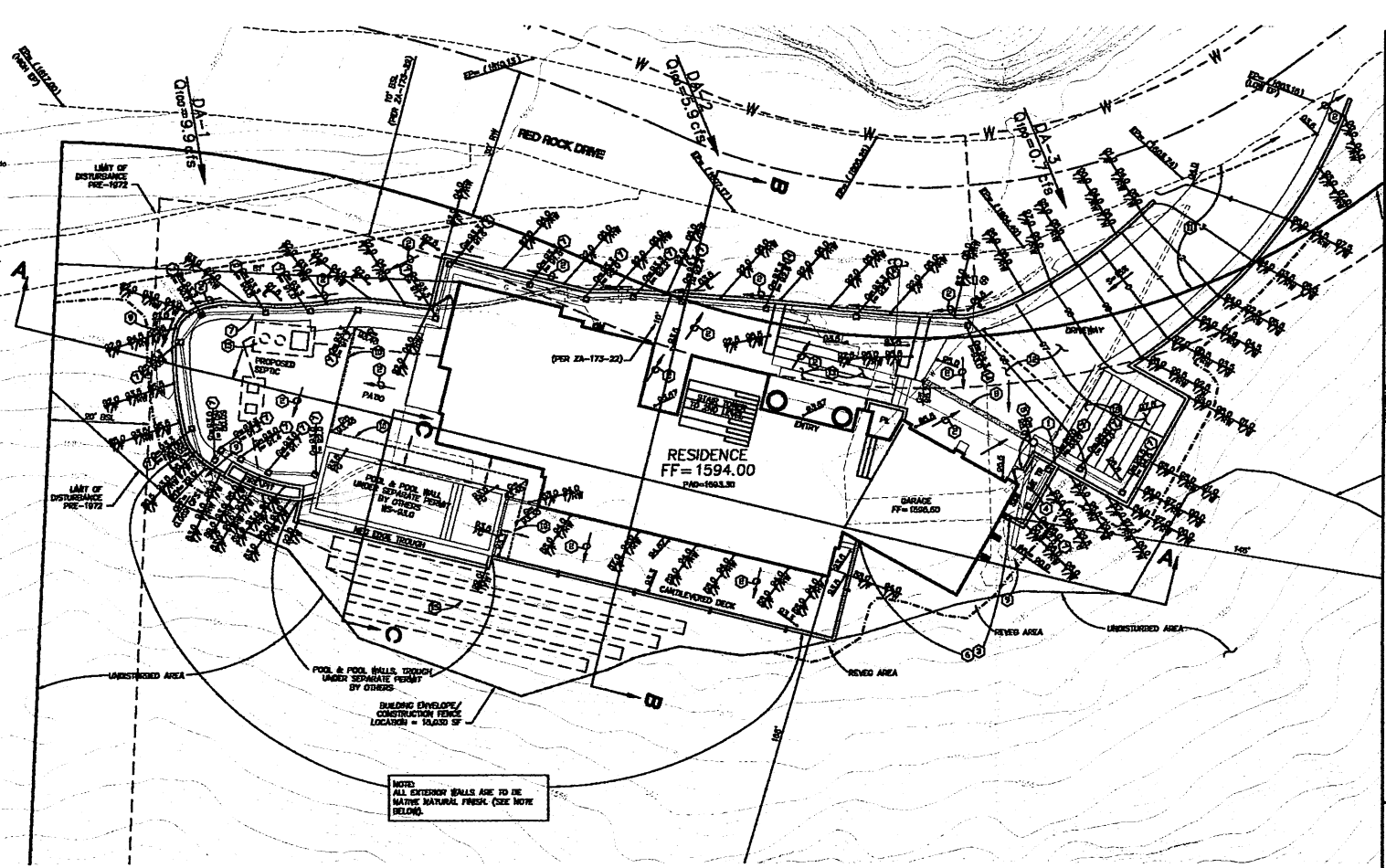
SCALE: 1" = 10'

RETENTION NOTE:
IN LIEU OF ON SITE RETENTION ALL STORM WATER WILL BE CAPTURED IN CATCH BASINS USING SILT FILTERS AND THEN SLED OFF INTO THE HISTORICAL RELEASE POINTS. SEE INFO ON SHEET 4 FOR SILT FILTER INFO.

NOTE:
ALL SITE/RETAINING WALLS/FENCES AND OTHER SITE ELEMENTS SHALL BE DESIGNED TO BLEND IN WITH THE NATURAL TERRAIN USING COMPATIBLE MATERIALS AND COLOR. FLUSH (UNFINISHED, UNPAINTED OR PAINTED ONLY) CAST ON FORMED CONCRETE, CONCRETE BLOCK, UNFINISHED METAL OR OTHER TYPES OF MATERIALS WILL NOT BE PERMITTED. WHEN CONTRASTS IN COLOR TO THE SURROUNDING TERRAIN WILL NOT BE APPROVED.

FIRST FLUSH TREATMENT DISCHARGE FLOW RATE
 $Q_{ff} = CIA$
 where
 Q_{ff} = minimum first flush discharge (cfs)
 C = Runoff coefficient (set at 1.00)
 I = rainfall intensity (0.25"/hr)
 A = Area of project site (acres)
 $Q_{ff} = (1.0)(.25)(.276) = 0.069$ cfs

NOTE:
ALL EXTERIOR WALLS ARE TO BE NATIVE NATURAL FINISH (SEE NOTE BELOW).



10 SCALE GRADING PLAN

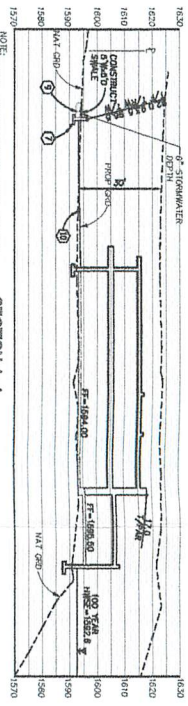
KIVA# 99-40634
 CPHG# 2205423
 H04058
 ENVR# 040033
 Q.S.# 19-39
 ZONING RE-35



GRADING PLAN
 LOT 39 RED ROCK NORTH
 5023 EAST RED ROCK DRIVE
 PHOENIX, ARIZONA

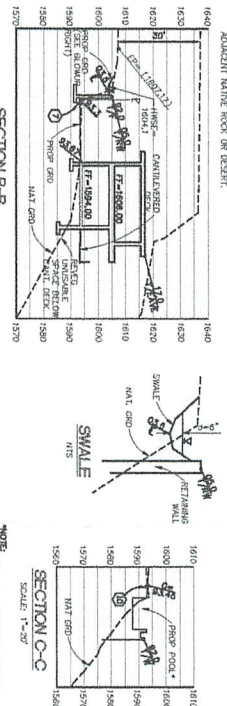


SHEET 3 OF 10
 DATE AUG 2020
 39FFIN

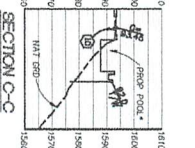
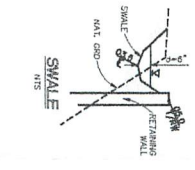


NOTE: SEE AND REFER TO MAIN ADJUSTED GRADING SURFACE ROCK IN CONCEPT SHEET AND ADJACENT NAME ROCK OR DESENT.

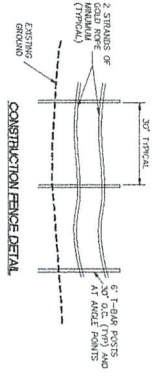
SECTION A-A
SCALE: 1"=3'-0"



SECTION B-B
SCALE: 1"=3'-0"



SECTION C-C
SCALE: 1"=3'-0"

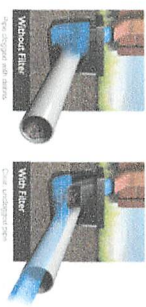


- CONSTRUCTION NOTES**
- ⑦ Inlet 12"x12" catch basin w/ 1/2" PVC w/ 40 mesh
 - ⑧ Inlet 6" dia storm water storm pipe w/ 1/2" mesh
 - ⑨ Inlet 6" dia storm water storm pipe w/ 1/2" PVC outlet

NOTE: SHALL BE SET FROM TO OF R/C CONSTRUCTION WITH ROCK & NO ACCESS IS PROVIDED FOR FUTURE CONSTRUCTION

NIDS® Catch Basin Filter

We pick water in its place



Compare your meshed filter effectiveness of drainage systems including in slurry water and damage to property. Adding a filter is a simple solution to keep water flowing through a drainage system and a cost-effective alternative to expensive repair or replacement.

Meets international testing standards:

- ASTM D-4253 - Can't be up to date of weight
- ASTM D-1555 - UV resistant 70% at 500 hours
- ASTM D-1491 - Fracture rate of water flow rate of 25 gpm

Easy maintenance - inspect every 6 months & clean/replace as needed.

KIVA# 99-40634
CPHG# 2205423
H04058
ENVR# 040033
O.S.# 19-39
ZONING RE-35



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SCG
SUMMIT CIVIL GROUP
807 EAST VISTA BONITA DRIVE STE 145
SCOTTSDALE, ARIZONA 85258 • (602) 725-0372

REVISIONS	8/4/22	PS
COP COMMENTS	10/10/22	PS
ARCH REVISIONS	1/5/23	PS
REV PLANS	2/1/23	PS
COP COMMENTS	4/2/23	PS
COP COMMENTS		

GRADING PLAN
LOT 39 RED ROCK NORTH
5023 EAST RED ROCK DRIVE
PHOENIX, ARIZONA



SHEET 4 OF 10
DATE AUG 2020

NO.	DATE	BY	CHKD
1	08/11/20	DAVID WILLIAMS	
2	08/11/20	DAVID WILLIAMS	
3	08/11/20	DAVID WILLIAMS	
4	08/11/20	DAVID WILLIAMS	
5	08/11/20	DAVID WILLIAMS	
6	08/11/20	DAVID WILLIAMS	
7	08/11/20	DAVID WILLIAMS	
8	08/11/20	DAVID WILLIAMS	
9	08/11/20	DAVID WILLIAMS	
10	08/11/20	DAVID WILLIAMS	

99FRN



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

APPLICATION FOR ZONING ADJUSTMENT

APPLICATION NO: ZA-244-23

CASE TYPE: Variance
DATE FILED: 6/22/2023

COUNCIL DISTRICT: 6
CASE STATUS: Pending

EXISTING ZONING: RE-35
FILING STAFF: TGarcia

Fee	Fee Waived	Fee Date	Receipt	Purpose
\$490.00	\$0.00	06/22/2023		Original Filing Fee

HEARING DATES

ZA: 08/03/2023 1:30PM LOCATION: Meeting will be held virtually.

BOA:

PROPERTY LOCATION: 5023 East Red Rock Drive

LEGAL DESCRIPTION: see attached.

CONTACT INFORMATION

NAME	ADDRESS	PHONE	FAX	EMAIL
Matt Morstad (Owner)	5023 E Red Rock Drive Phoenix AZ 85018	(602) 725-0372		mattmorstad@gmail.com
Jon Poetzl Poetzl Architecture + Design (Applicant, Representative)	5070 N 40th Street, 130 Phoenix AZ 85018	(480) 338-1632		jon@poetzl.com jon@poetzl.com

If, during the course of review of a pending application, the applicant submits one or more additional applications that are related to the pending application, then and in such event, the substantive review time frame shall be reset on all related applications. In this event there shall be one applicable substantive review time for all of the related applications and the time frame shall be revised to be the longest substantive review time frame that was applicable to any one of the related applications. As a result, the entire substantive review time frame for the related applications shall start over, and a fee may be charged.

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning.mailbox@phoenix.gov or visit our website at <http://phoenix.gov/pdd/licensetimes.html>.

In making this application, I understand that the filing of this application and payment of fees does not entitle me to the relief requested. (See Sec. 307 of City of Phoenix Zoning Ordinance for standards by which the hearing officer will review the application.) I understand the approval of this request does not replace the need for acquiring the appropriate building permits, site plan approval, liquor license or any other licenses required by governmental agencies. I also understand that in the case of liquor request approval of a use permit does not guarantee the CITY OF PHOENIX will recommend approval of the liquor license.

APPLICANT'S SIGNATURE: _____

DATE: 06.27.23

NOTE TO APPLICANT: SUCH USE PERMITS AND VARIANCES AS ARE GRANTED BY THE ZONING ADMINISTRATOR SHALL BE VOID IF THE USE IS NOT COMMENCED OR IF A BUILDING PERMIT IS NOT OBTAINED 60 DAYS OF SUCH GRANTING OR WITHIN THE TIME STIPULATED BY THE ADMINISTRATOR.

APPEALS OF DECISIONS OF THE ZONING ADMINISTRATOR MAY BE MADE BY ANY PERSON TO THE BOARD OF ADJUSTMENT WITHIN 15 DAYS AFTER THE DATE OF ACTIONS.

REQUEST

1. Variance to reduce the required front yard (north) setback to 10 feet. Minimum 40 feet required.

ZONING ORD. SECTIONS
609.B.Table

GEOGRAPHIC INFORMATION

APN: 172-48-010

Qtr Section(Map Index): 19-39(H11), 19-40(H11)