

**GENERAL NOTES (AS APPLICABLE):**

- ALL PRODUCTS LISTED BY ICC/NER NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICC APPROVED EVALUATION REPORT OR BE APPROVED.
- EXTERIOR WALL BOTTOM SILL PLATES, SHALL BE PRESSURE TREATED OR EQUAL, AND SHALL BEAR/EXTEND MINIMUM 6 INCHES ABOVE FINISH GRADE.
- MISC. SITE STRUCTURES, POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
- DOORS LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING AND TIGHT FITTING WITH GASKETS AND SWEEP.
- EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS OR CONDUITS SHALL BE CAULKED.
- IF BATT INSULATION IS USED IN LEIU OF SPRAYED, PROVIDE ROOF ATTIC VENTILATION.
- MINIMUM INSULATION SHALL BE: MINIMUM INSULATION OF R38 CEILINGS AND R21 WALLS.
- LUMBER SHALL BEAR AN APPROVED GRADING STAMP.
- FIRE BLOCKING SHALL COMPLY WITH CODE AND BE MAXIMUM 10 FT. O.C., HORIZONTAL AND VERTICAL.
- GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYPSUM CEILING BOARD.
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- WATER-RESISTANT GYP BD SHALL NOT BE USED OVER A VAPOR RETARDER, IN AREAS OF HIGH HUMIDITY OR ON CEILINGS WHERE THE FRAME SPACING EXCEEDS 12" O.C. FOR 1/2" GYPSUM, AND 16" O.C. FOR 5/8" GYP.
- PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: WATER CLOSETS - TANK TYPE = 1.6 GAL./FLUSH SHOWER HEADS - 2.5 GAL./MIN. FAUCETS - 2.2 GAL./MIN, PROVIDE AERATOR.
- WATER TREATMENT SYSTEMS SHALL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.
- PROVIDE AN EXPANSION TANK AT THE WATER HEATER IF A BACK FLOW PREVENTOR IS OR WILL BE INSTALLED AT THE WATER LINE OR AT THE METER.
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
- DOMESTIC DISHWASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE, NOT LOWER THAN 2" ABOVE THE FLOOD RIM OF THE SINK.
- REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.
- THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4-INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 25 FEET, UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED. THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE OR FROM OPENINGS INTO A BUILDING.
- PROVIDE IC-RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS.
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATIONS.
- PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6' OF ALL LAVATORIES, SINKS AND BASINS.
- PROVIDE GFCI PROTECTED RECEPTACLES AT ALL EXTERIOR, BATHROOM, AND GARAGE LOCATIONS.
- PROVIDE A WALL-MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY.
- ALL CIRCUITS SUPPLYING RECEPTACLE OUTLETS IN BEDROOMS SHALL BE AFCI PROTECTED. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE TWO FEET OR MORE IN WIDTH.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 2-AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- PROVIDE A SEPARATE 20-AMP CIRCUIT TO THE LAUNDRY.
- PROVIDE A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN/DINING/BREAKFAST.
- THE TWO OR MORE 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, EXCEPT THE RECEPTACLE INSTALLED SOLELY FOR ELECTRIC SUPPLY TO AN ELECTRICAL CLOCK IN THE KITCHEN/DINING/BREAKFAST AREAS OR RECEPTACLES FOR SUPPLEMENTAL EQUIPMENT AND LIGHTING FOR GAS-FIRED RANGES, OVENS, OR COUNTER-MOUNTED UNITS.
- RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYER SHALL BE A 3-POLE WITH GROUND TYPE, FOUR-WIRE, GROUNDING TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE.
- PROVIDE A CONCRETE ENCASED GROUNDING ELECTRODE OF NOT LESS THAN 20 FEET #4 BARE COPPER.
- PROVIDE BONDING TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS.
- ALL METAL PIPING SYSTEMS, METAL PART OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED, COVERED OR BARE, NOT SMALLER THAN NO. 8 SOLID. METAL PARTS OF LISTED EQUIPMENT INCORPORATING AN APPROVED SYSTEM OF DOUBLE INSULATION AND PROVIDING A MEANS FOR GROUNDING INTERNAL NON-ACCESSIBLE, NON-CURRENT-CARRYING METAL PARTS SHALL NOT BE BONDED.

**SITE PLAN NOTES (AS APPLICABLE):**

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- THIS PROJECT IS LOCATED IN THE CITY WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE-FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLAN.
- THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE LOCAL CONSTRUCTION CODE PRIOR TO USE.
- AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PDD PRIOR TO THE OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 262-6981 AND REQUEST A DESIGN REVIEW INSPECTION.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.
- SMOKE, GAS, AND ODOR EMISSIONS SHALL COMPLY WITH REGULATION III OF THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS.
- THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT.
- THE AVERAGE NOISE LEVEL, MEASURED AT THE PROPERTY LINE, SHALL NOT EXCEED 44 DB (1DN) WHEN MEASURED ON "A WEIGHTED" SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.
- EXPLOSIVE OR HAZARDOUS PROCESSES (IF APPLICABLE): CERTIFICATION SHALL BE PROVIDED BY LOCAL FIRE DEPARTMENT PREVENTION BUREAU THAT ALL MANUFACTURING, STORAGE AND WASTE PROCESSES ON THE SITE SHALL MEET SAFETY AND ENVIRONMENTAL STANDARDS AS ADMINISTERED BY THE BUREAU.
- ALL NEW SANITARY SEWER LINES WITHIN THE SITE SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE LOCAL PLUMBING CODE OR THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AQUIFER PROTECTION PROGRAM (APP) GENERAL PERMIT 4.01 IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE TITLE 18, CHAPTER 9, SECTION E301 (AAC R18-9-E301) WHICHEVER IS APPLICABLE.
- THE SANITARY SEWER COLLECTION SYSTEM WITHIN THIS PROJECT WILL BE A PRIVATE SYSTEM, OWNED AND MAINTAINED BY THE PROPERTY OWNER(S) OR ASSOCIATION. THE SYSTEM WILL BE REVIEWED AND INSPECTED BY THE BUILDING SAFETY SECTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- ALL ON-SITE WATER LINES, SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE LOCAL PLUMBING CODE.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. (2012 IRC R401.3)
- I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN FOR THE PURPOSE OF FUTURE AMENDMENTS PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE PLAN.

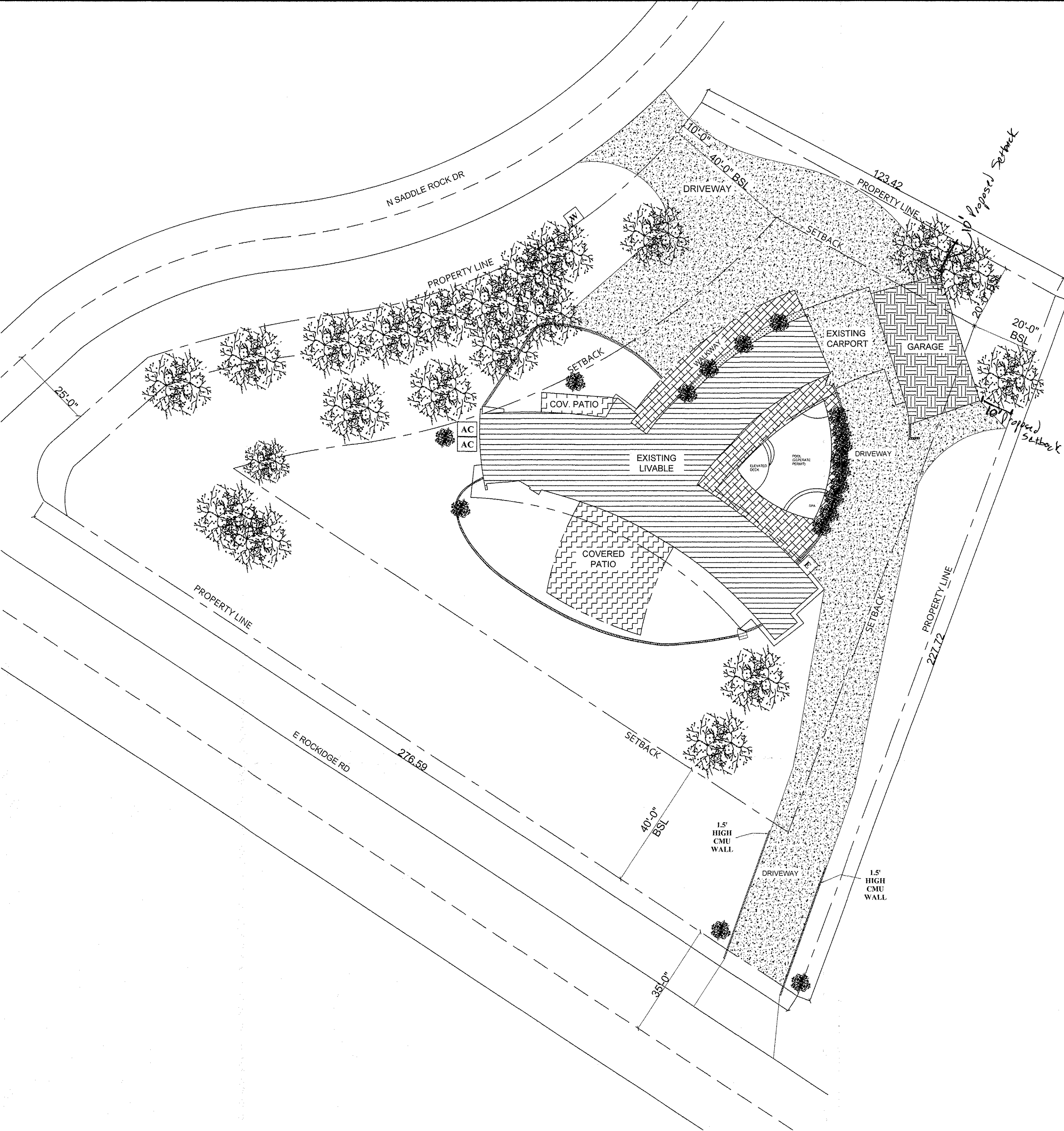
**LANDSCAPE**

THE AREA BTWN FRONT BLDG LINE AND FRONT PROPERTY LINE SHOULD BE LANDSCAPED W/ THE FOLLOWING ELEMENTS:

- A MINIMUM OF ONE (1), TWO(2) INCH CALIPER OR GREATER, DROUGHT RESISTANT ACCENT TREE.
- A MINIMUM OF FIVE (5), FIVE (5) GALLON OR GREATER, DROUGHT RESISTANT SHRUBS.
- DUSTPROOFED W/ GROUND COVER, TURF, ROCK, DECOMPOSED GRANITE, OR EQUIVALENT MATERIAL AS APPROVED BY THE CITY PLANNING + DEVELOPMENT DEPARTMENT.
- AN IRRIGATION SYSTEM.

**DESIGN CRITERIA:**

|                                 |                   |
|---------------------------------|-------------------|
| ROOF SNOW LOAD:                 | 0                 |
| <b>WIND SPEED:</b>              |                   |
| ULTIMATE:                       | 115 MPH           |
| ASD                             | 90 MPH            |
| <b>SEISMIC DESIGN CRITERIA:</b> |                   |
| WINTER DESIGN TEMPERATURE:      | B                 |
| FLOOD HAZARDS:                  | 34°               |
| D                               |                   |
| <b>SUBJECT TO DAMAGE FROM:</b>  |                   |
| WEATHERING:                     | NEGLIGIBLE        |
| FROST LINE DEPTH:               | FINAL GRADE       |
| TERMITE:                        | MODERATE TO HEAVY |
| ASD:                            | NONE TO SLIGHT    |

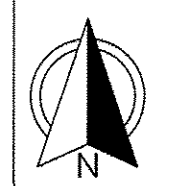
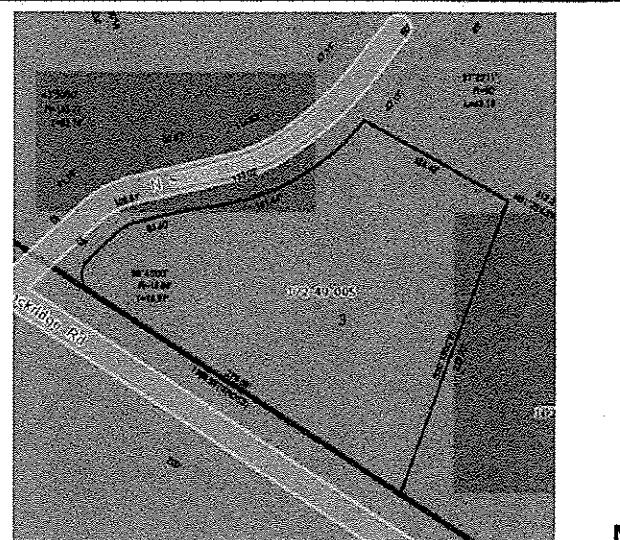


**SITE PLAN**

SCALE: 1"=20'

|  |                     |  |                 |  |                         |  |                |  |               |
|--|---------------------|--|-----------------|--|-------------------------|--|----------------|--|---------------|
|  | LIVABLE             |  | GRAVEL          |  | ELECTRICAL METER        |  | STREET         |  | PROPERTY LINE |
|  | LIVABLE (2ND STORY) |  | GRASS           |  | ELECTRICAL PANEL (AMPS) |  | HOUSE BOUNDARY |  | SETBACK       |
|  | ADDITION            |  | UNCOVERED PATIO |  | GAS METER               |  | ROOF LINE      |  | WALL/FENCE    |
|  | GARAGE              |  | CONCRETE        |  | WATER METER             |  | VEGETATION     |  |               |
|  | COVERED PATIO       |  | PAVERS          |  | AC UNIT                 |  |                |  |               |

**SITE OVERVIEW**



N.T.S.

**SITE INFORMATION**

|             |  |
|-------------|--|
| APN         | 172-49-005                             |
| ADDRESS     | 5111 N SADDLE ROCK LN PHOENIX AZ 85018 |
| MCR         | 6926                                   |
| LOT         | 3                                      |
| SUBDIVISION | RED ROCK                               |
| LOT AREA    | 44,418 sq ft                           |
| ZIP         | 85018                                  |
| ZONING      | RE-35                                  |

**SHEET INDEX**

|                             |                         |
|-----------------------------|-------------------------|
| C1.0 COVER SHEET/ SITE PLAN | E1.0 LIGHTING PLAN      |
| A0.0 EXISTING LAYOUT        | E2.0 POWER PLAN         |
| A1.0 DESIGN LAYOUT          | S1.1 G.S.N.             |
| A2.0 ELEVATIONS             | S1.2 TYPICAL DETAILS    |
| A3.0 SECTIONS               | S2.1 FOUNDATION PLAN    |
| A4.0 ROOF PLAN              | S3.1 FRAMING PLAN       |
|                             | S4.1 FOUNDATION DETAILS |
|                             | S5.1 FRAMING DETAILS    |

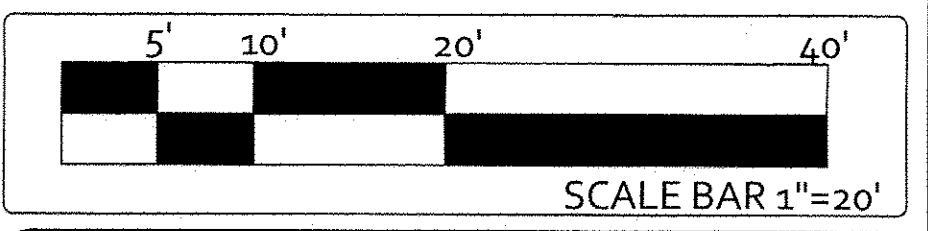
**AREA CALCULATION**

| AREA              | EXIST (SF)  | DEMO (SF) | ADD (SF) | REM (SF) | TOTAL (SF)  |
|-------------------|-------------|-----------|----------|----------|-------------|
| LIVABLE           | 3700        | -         | -        | -        | 3738        |
| GARAGE            | -           | -         | 730      | -        | 730         |
| COV. PATIO        | 1550        | -         | -        | -        | 1550        |
| STORAGE           | 174         | 174       | -        | -        | 0           |
| CARPORT           | 406         | -         | -        | -        | 406         |
| <b>TOTAL (SF)</b> | <b>5830</b> |           |          |          | <b>6560</b> |

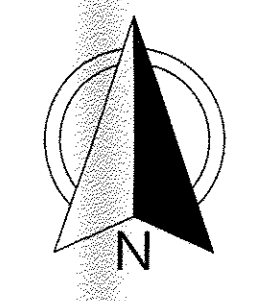
| LOT (SF) | LOT COV | MAX | ACTUAL |
|----------|---------|-----|--------|
| 6560     | 44,418  | 40% | 15%    |

**SCOPE**

ADD GARAGE PER DRAWINGS  
**CITY OF PHOENIX**  
 SEP 26 2023  
 Planning & Development Department



SCALE BAR 1"=20'



|                 |   |           |            |
|-----------------|---|-----------|------------|
| SHEET TITLE     | SITE PLAN                                 | SHEET NO. | C1.0       |
| PROJECT NAME    | 5111 Saddle Rock Ln                       | SCALE     | 1"=20'     |
| PROJECT ADDRESS | 5111 N SADDLE ROCK LN<br>PHOENIX AZ 85018 |           |            |
| CLIENT          | CLARKE CLINTON E HINDAXA P                | DATE      | 09.05.2023 |

PHOENIX CODES  
 UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES  
 2018 IBC, IEBC, IRC, IMC, IPC UPC, IECC, IFGC, AND ISPC  
 2017 NEC  
 2007-20016 ASME  
 2012 IGCC

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within - 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.  
 It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

**SEAL**

**CITY APPROVAL**

**REZIO**  
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